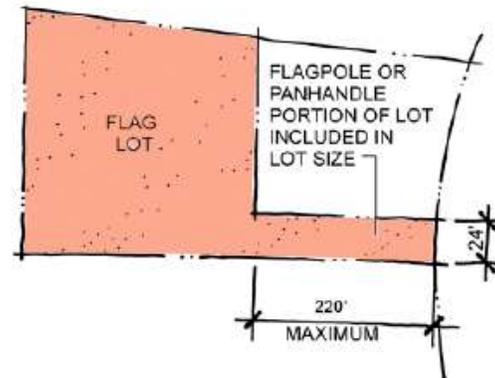


15-06-03 General Residential Development Standards

W. **Flag Lots.** In order to encourage the more efficient use of land, flag or L-shaped lots may be allowed as a conditional use (a permitted use within the Sensitive Area Overlay District) subject to the following conditions:

1. A flag or L-shaped lot shall be comprised of a staff portion contiguous with the flag portion thereof.
2. That staff portion of said lot shall front on and be contiguous to a dedicated public street or private street. The minimum width of the staff portion of flag lots shall be 20 feet and the maximum length shall be 220 feet unless otherwise approved by the Planning Commission and Fire Department.
3. No building or construction, except for driveways, shall be allowed on the staff portion of said lot unless the minimum width thereof is the same or greater than the minimum width for a lot as allowed in the underlying zone (excluding entrance features and street lights).
4. The front side of the flag portion of said lots shall be deemed to be that side nearest to the dedicated public street or private street upon which the staff portion fronts.
5. The staff portion of said lots shall be deemed to end and the flag portion of said lots shall be deemed to commence at the extension of the front lot line.
6. The square footage located in the flag portion of said lot, which shall be exclusive of the square footage located in the staff portion of said lot, shall be the same or greater than the minimum square footage as required in the underlying zone.
7. The side and rear yard requirements of the flag portion of said lots shall be the same as is required in the underlying zone.
8. The minimum front setback requirements for all buildings shall be 30 feet, excluding the staff, from the front lot line of the flag portion thereof. Other setbacks shall be those on the underlying zone.
9. No more than two flag lots can be served by one staff portion.
10. All flag lots in the development site shall be approved in the site plan by the Planning Commission.
11. The maximum number of flag lots in the subdivision shall be not more than 20 percent of the total number of lots within the subdivision, unless otherwise approved by the Planning Commission.
12. The approved building envelope shall be illustrated upon the final plat.
13. Figure #1, attached hereto and specifically made a part of this Section, is an example of a "flag lot" and is included herein to illustrate the concept of "flag" or "L-shaped" lots.



Flag Lots

Figure 1: Typical Flag Lot