

15-06-06 Fencing Regulations

- A. **Provisions Constitute Minimum Requirements.** In interpreting and applying the provisions of this Section, the requirements contained in this Section are declared to be the minimum requirements.
- B. **Effect of Section on Covenants, Agreements, etc.** This Section shall not nullify the more restrictive provisions of covenants, agreements or ordinances or laws, but shall prevail notwithstanding such provisions which are less restrictive.
- C. **Fences - Residential Standards.**
1. **Side Yards and Rear Yards.** In any required side or rear yard on lots, the height of fences shall not exceed 6 feet in height.
 2. **Front Yards.** Fences in required front yards shall be allowed provided that solid type fences shall not exceed 3 feet in height, and open type fences (for example, chain link fences), shall not exceed 4 feet in height.
 3. **Corner Lots.** In addition to the other provisions contained in this Section, fences located on corner lots shall be subject to the following provisions:
 - a. Any fence, wall and/or hedge on the front yard setback shall not exceed 3 feet in height if opaque construction, or 4 feet in height if open construction.
 - b. In the side yard setback which fronts on a street, height up to 6 feet shall be allowed beyond 60 feet from the intersection measured from the intersection of extended curb lines. Height within the 60 foot area shall conform to the requirements of a front yard setback.
 - c. Heights on the rear yard setback and interior side yard setback shall not exceed 6 feet.

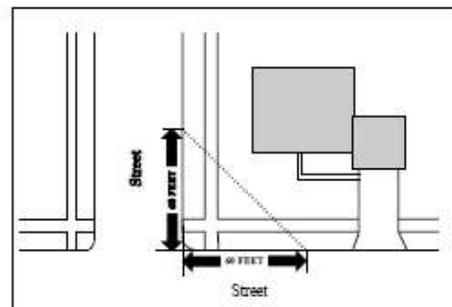
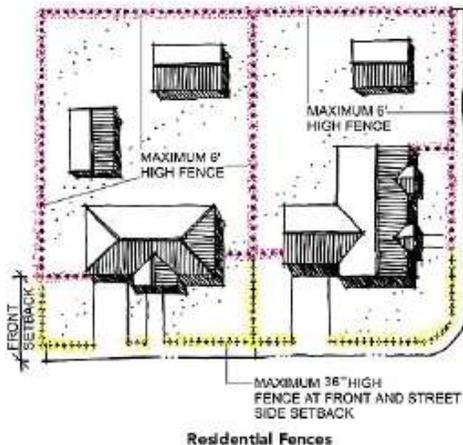


Illustration of a Common 60'
Sight Visibility Triangle

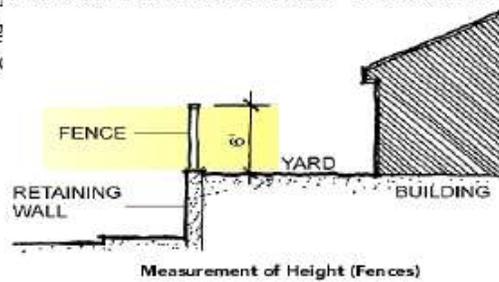
4. **Lots Within Sensitive Overlay District.** A fence may be built upon a slope greater than 30% provided that the following conditions are met:
 - a. Fences shall be located only upon areas constituting usable land unless otherwise designed to comply with the Hillside Element as contained in Section VIII of the General Plan, and approved by the Sandy City Community Development Department.

- b. Black vinyl coated chain link fencing only shall be allowed in order to blend into the native landscaping.
- c. The fence shall be built in accordance to this chapter and comply with all restrictions imposed by setbacks, etc, as defined in this Code
- d. All requirements of the Sensitive Overlay District shall be met prior to the construction of the fence.
- e. Fencing on hillside lots shall only be approved in conjunction with an approved landscape plan with the Hillside Element as contained in Section VIII of the General Plan.

D. Fencing - Commercial Standards.

- 1. Interior Lots.
 - a. If a fence is desired in the front building setback, decorative iron fences or a combination of decorative iron and brick pillar fences are required.
 - b. The fence may be a maximum of 6 feet in height provided the fence is located immediately behind the front landscape area required by the zoning ordinance for the particular project.
 - 2. Corner Lots. All developments located on corner lots shall be considered to have two frontages. The above fencing restriction shall apply to both frontages with the exception that fences may not encroach into the required sight visibility triangle at the intersection of two streets. Sight visibility triangle shall conform to engineering standards as contained in the AASHTO publications. In many cases, a sixty [60] foot sight visibility triangle is sufficient. Sight visibility triangles will increase significantly if the location is on or near the inside of a horizontal curve. Fences in the sight visibility triangle shall be no more than 3 feet in height above the top of curb. Said sight visibility triangle shall be measured from the intersection of the extended curb lines back 60 feet in both directions, in most cases.
 - 3. Side and Rear Property Lines. Fences along side or rear property lines shall not exceed 6 feet in height (measured from the highest elevation on either side of the fence) unless otherwise approved by the Planning Commission during Site Plan Review up to a maximum of eight (8) feet (measured from the highest elevation on either side of the fence).
 - 4. Barbed Wire Fences. Barbed wire and other security wire is allowed on fences on commercial, industrial, business or civic property for the purpose of maintaining security and preventing property loss and vandalism.
 - 5. Temporary Chain Link Fencing. Chain link fencing shall be allowed in the front setback area on a temporary basis for the purpose of securing property prior to development.
- E. Vacant Lots.** For the purpose of this Chapter, it shall be presumed that a vacant lot shall contain a minimum front, side and rear yard that are otherwise required by ordinance. In any required side and rear yard on vacant lots, the maximum height of fences or other similar structures shall be 6 feet.
- F. Barbed or Razor Wire.** Fences containing strands of barbed wire, razor wire or other similar fencing designed to prevent intrusions are prohibited, unless specifically approved by the Planning Commission for public safety, health or welfare. Such fences include fencing for farm animals and public utility stations.

- G. **Retaining Walls.** Where a retaining wall protects a cut below or a fill above the natural grade and is located on the line separating lots or properties, such retaining wall shall not exceed five (5) feet in height. For cuts/fills to be retained which exceed five (5) feet, retaining walls shall be stepped and separated horizontally by a minimum of five (5) feet. The uppermost retaining wall may be topped by a fence, wall or hedge if no retaining wall exists.



- H. **Walls Along Arterial Highways.** Whenever any person, firm or corporation as subdivider, develops or builds upon any property in Sandy City which is part of a recorded subdivision approved by the Planning Commission after the effective date of this Code or in any previously approved subdivision, and which abuts any arterial street, as defined and provided herein, the said person, firm or corporation shall construct and install at his or its own expense, a fence or wall as provided hereafter along the back property line of lots abutting said arterials.

1. An arterial highway is any public road having a right-of-way, developed or undeveloped, of 84' or more, including but not limited to the following roads:

State Street	700 East
1300 East	10600 South
2000 East	9000 South
9400 South	11400 South

2. The said fence or wall shall be approved by the Planning Commission after review by the Community Development Department, only upon satisfaction of the following criteria:
 - a. Durable or useful life of at least 20 years duration.
 - b. Wind load of at least 80 miles per hour.
 - c. Maintenance free for at least five years duration.
3. In addition to the above requirements, the following shall be satisfied:
 - a. The fence shall be interrupted approximately every 20 to 30 feet by pilasters, jogs in the fence or other variation in the construction so as to provide a visual breaking point in construction.
 - b. Acceptable construction materials shall not include chain link with slats, picket or thin board fencing.
 - c. Anti-graffiti coating shall be required as approved by the Sandy City Parks and Recreation Department.

d. Specific structural design shall be reviewed and approved by the Sandy City Engineer.

I. **Exceptions.** The provisions of this Section shall not apply to certain other fences such as sports court fences, tennis court backstops or patio enclosures in the front, side or rear yards, if approved by the Planning Commission. During the review of such requests, the Planning Commission need only determine if in its opinion that:

1. The proposed fence does not create a hazard for the subject property or adjacent properties;
2. That the proposed fence does not create a violation of other ordinances.

J. **Fencing Canals**

1. Any parcel being subdivided which is adjacent to or has within its boundaries a canal right-of-way may be required to provide along such right-of-way a non-climbable fence unless otherwise approved by the Planning Commission. The height of the fence shall be at least six (6) feet. The bottom of the fence shall match the grade at the location of the fence so that there are no gaps between the fence and the ground. The developer shall install a concrete strip, if necessary, to eliminate gaps between the bottom of the fence and the ground.

As an alternative to fencing the canal, and with the review and approval of the Sandy City Public Utilities Department, the developer may pipe the canal. If the canal is piped, the developer must obtain written permission from the canal company and construct the pipe according to canal company requirements and specifications.

2. All fences bordering canals shall be installed as part of the improvements for the subdivision. No occupancy permit, whether temporary or final, shall be granted until all required fencing is installed in the subdivision.
3. Where practical, the fence material and type should be alternated to create an "open" appearance and avoid a walled-in alley look.

K. **Buffering Along Arterial Streets**

1. Residential. Developments shall not be so constructed as to permit motor vehicle access directly onto an arterial street or roadway from individual residential lots. No new residential developments shall be permitted within the City which abut an arterial without requiring improvements along the entire length of the development as it abuts the arterial street, to the following standards:
 - a. A barrier wall, six (6) feet in height (measured from the highest elevation on either side of the wall); except, that where soil retention is required, walls may be up to eight (8) feet in height (retaining wall and barrier wall combined). All such walls shall meet design specifications adopted by the Planning Commission.
 - b. Curb, gutter and sidewalk to specifications approved by the City Engineer.
 - c. Asphalt and other roadway improvements to the center line of the arterial.
 - d. A minimum five (5) foot landscaped buffer between the sidewalk and street curb, such landscaping to be installed according to the Street Planting Guide for arterial and collector streets.

- e. Sprinkling system and water connections sufficient to maintain landscaping in all buffer areas to specifications approved by the Public Works Department.
- f. An additional landscaped buffer, including sprinkling and water connections, may be required by the Planning Commission, between the sidewalk and barrier wall, where it is impractical for the barrier wall to abut the sidewalk. The specific width of the buffer and landscaping specifications shall be determined by the Planning Commission, upon recommendation by the Parks Director, at the time of final subdivision review.