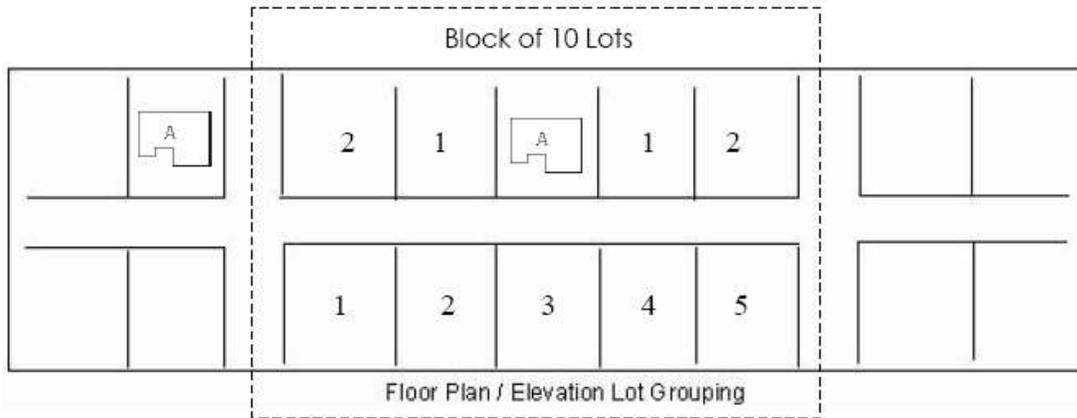


11-5-404 Minimum Performance Standards

(1) The following are minimum standards for single-family detached dwellings, twin homes or duplexes developed in the Westfields.

(a) The same elevation may not be used on the adjacent two lots on either side of the subject property or the five lots across the street from the subject property on any block length, as illustrated below.



(b) No garage shall occupy more than 40% of the total building frontage. This measurement does not apply to garages facing on a carriage way, or setback at least 20 feet from the front of the house or that are side loaded.

(c) In any lot with street frontage of 60' or less that includes a carriage way, all required parking shall be accessed from the carriage way. The required parking shall be setback a minimum of five feet from the rear property line.

(d) Front loaded garages on lots with street frontage of 60' or less must be setback a minimum of 20' from the required front setback of the house.

(e) Single-family detached houses may have a roof pitch of no less than 5/12.

(f) All walls which face a public street must contain at least 25% of the wall space in windows or doors. However, on homes that have side-loaded garages, all walls which face a public street must contain at least 20% of the wall space in windows or doors.

(g) Primary entrances shall face the public street and sidewalk.

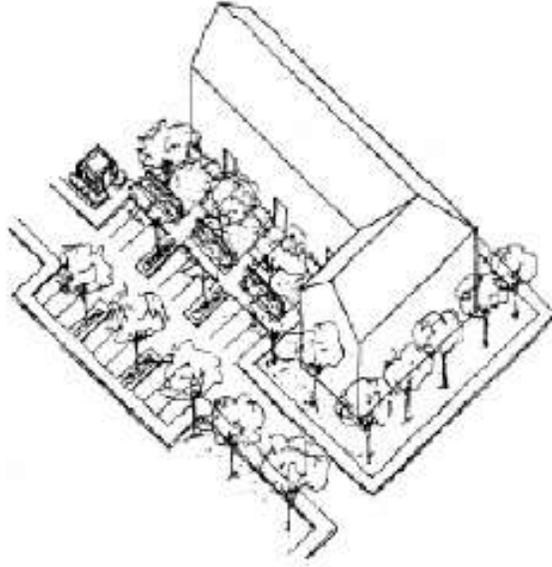
(h) Windows shall not be flush with exterior walls. They shall be recessed or treated with a trim.

(i) The use of materials must be consistent on the front and side for houses on interior lots and all sides of the house for corner lots.

(2) The following are minimum standards for any multiple-unit residential buildings and lots, either for rental or ownership, developed in the Westfields.

(a) Parking for all multi-family dwelling units shall be located behind the principal building and may be accessed from a carriage way or driveway.

(b) Primary entries shall face a public street.



Locate parking areas along non-street facing elevations with primary entries facing public street.

(c) At least 50% of the block length shall have building facades within 30 feet of the front property line.

(d) All front facades must include 25% of the wall space in windows or doors.

(e) The use of materials must be consistent on all sides of the building.

(f) Standards specific to large developments more than 50 units.

(i) Variation in building facades facing streets are encouraged to provide identity to buildings within multi-family projects. This may include a variety of building styles, massing, composition, and prominent architectural features, such as door and window openings, porches, and rooflines.

(ii) Building frontages greater than 100 feet shall include projections and recesses, balconies, arcades and other distinctive features to interrupt the length of any building façade facing a street.

(g) Windows shall not be flush with exterior walls. They shall be recessed or treated with a trim.

(Ord. No. 9-05, 05/17/2005)