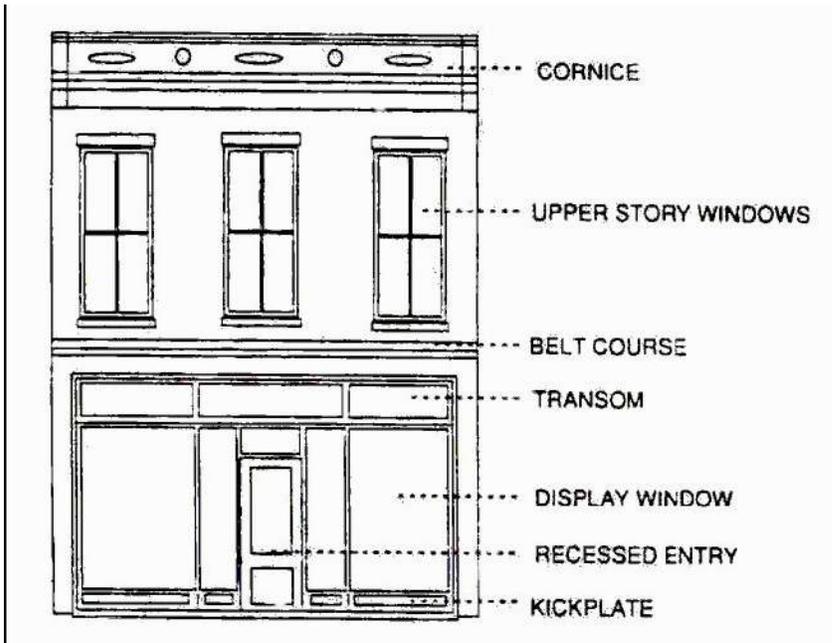


11-5-504 Design Standards for Mixed-Use Sections of the Village Center

(1) Architectural Character: Contemporary interpretation of traditional commercial buildings is encouraged. Design elements associated with traditional store facades, such as kickplates, large first-floor display windows, transoms, and cornice elements will be included.



This illustration includes the portions of a front façade that should be included in buildings in the Mixed-Use Section of the Village Center.

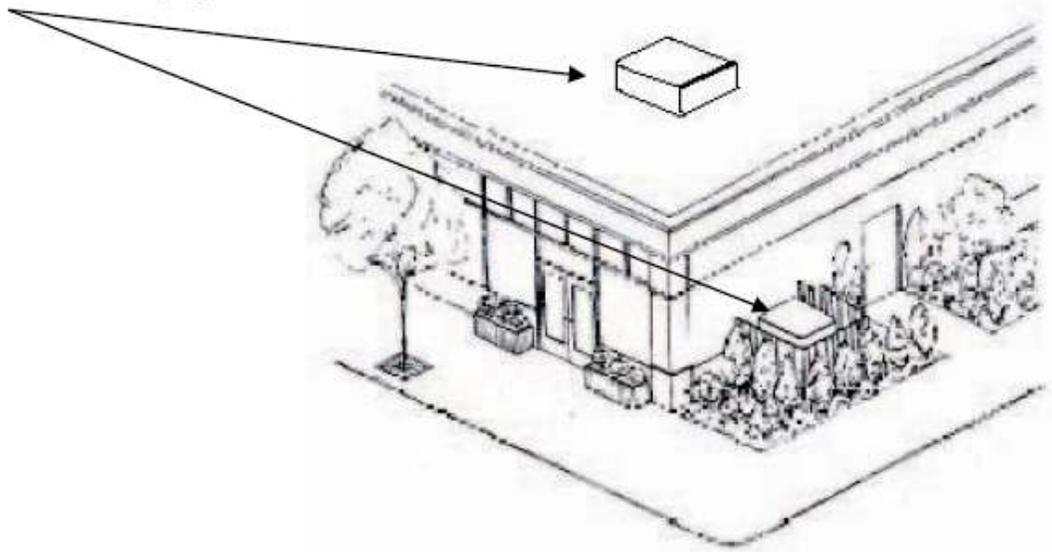
(2) Awnings shall be:

- (a) Mounted to accentuate character-defining features of the façade.
- (b) Semi-circular, odd shaped, bubble and bull-nose awnings are inappropriate.
- (c) Back-lit awnings are not allowed.
- (d) The angled plane of the awning shall appear larger than the vertical valance plane of the awning and the valance may not exceed 14°.
- (e) Awning signage shall meet the requirements of the Sign Code.
- (f) Rigid-frame awnings may be used.

(3) Building Equipment.

(a) All building equipment and service areas, including roof and ground level HVAC and other equipment that is visible from a public street or way shall be screened.

Screening of Mechanical Equipment



(b) Equipment placed on the roof should be setback at least 15' from any public street or way.

(4) Building Fenestration/Transparency.

(a) All first floor facades facing a public street or way shall include clear windows in at least 50% of the primary street façade area. Glass in these areas may not be reflective, opaque or glass-block.

(b) The maximum length for any blank wall uninterrupted by windows, doors or architectural detailing at the first floor level shall be 30 feet.

(c) There shall be at least one operable building entrance per elevation that faces a public street. Buildings on corner lots need only have one operable building entrance, provided the facades of both streets meet the 50% window requirement.



(d) All second floor facades facing a public street or way shall include clear window in at least 25% of the façade area.

(e) Upper story windows shall have a vertical emphasis

(f) Windows shall be set inside of the building face wall.

(5) Building Form.

(a) Arcades, colonnades and recessed entryways are encouraged.

(b) Roof tops should appear to be flat from public streets and ways. Parapets may be used to obscure pitched roofs.

(6) Building Mass and Scale.

(a) Large buildings should be divided into smaller modules or bays of 12 to 30 feet in width.

(b) Large projects that occupy over 75' of frontage shall include varying building heights to provide variety to the streetscape.

(7) Building Materials.

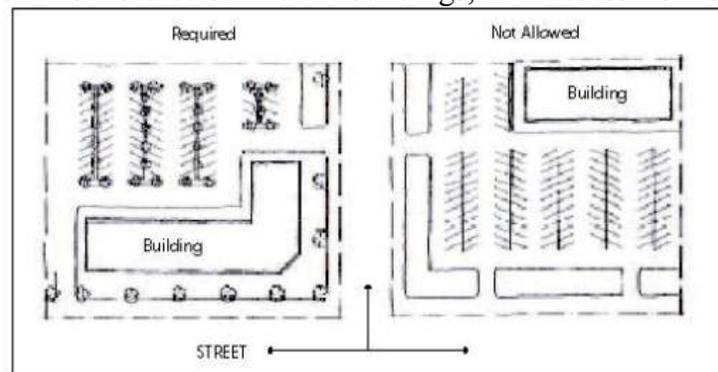
(a) The primary building material for facades facing a public streets or way shall be standard sized brick, with carved, rusticated or dressed stone, cast concrete or stucco used as accent materials. First floor storefronts may include wood or aluminum framing

(b) Walls located between buildings, that will not be exposed, may be constructed of CMU (concrete masonry units).

(c) Rear facades adjacent alleyways or parking areas may include standard-sized brick, stone, cast concrete or stucco.

(8) Parking.

Off-site parking shall be located behind the buildings, with access from side streets.



(9) Right-of-way.

(a) Streets within the Mixed-Use Section of the Village Center shall be designed as minor collectors to provide street side parking. Consideration may be given for angled parking in order to provide additional storefront parking.

(b) The streetscape plan for the Mixed-Use Section shall meet the requirements of the Westfields right-of-way streetscape requirements, which shall include a minimum 5' sidewalk. The parkstrip area will include an 8' by 8' street tree planters spaced every 40' on center, separated by a hard-surfaced brick pavers or similar treatment.

(c) The outdoor permanent sales or display of merchandise shall not encroach into areas of required sidewalk, landscaping or parking.

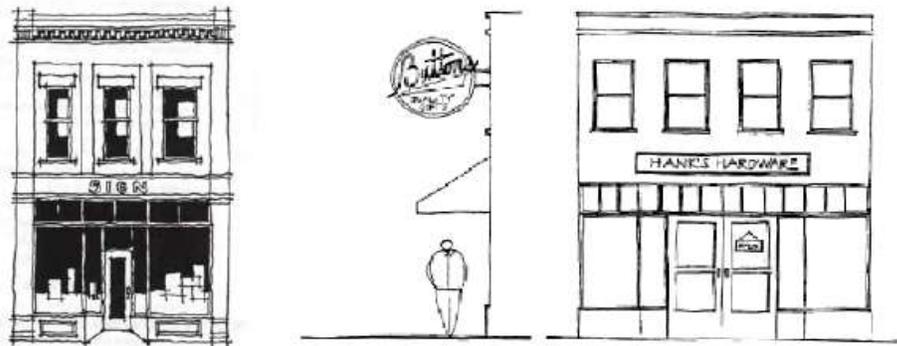
(d) At least 5% of net area in the Mixed-Use Section shall include a plaza or square with seating provided at a rate of one sitting space per 250 square feet, at least 30 inches wide and 16 inches in height. Sitting spaces may include ledges or more formal benches. At least one of the following elements shall be provided:

- (i) One tree per 800 square feet of area;
- (ii) Water features or public art; and/or
- (iii) Outdoor eating areas or food vendors.

(10) Signage.

(a) Signage shall be in conformance with the Springville City Sign Ordinance.

(b) Permanent signage should not hide architectural features of the building or obscure windows.



The area above the transom window is usually the most appropriate location for a wall sign.