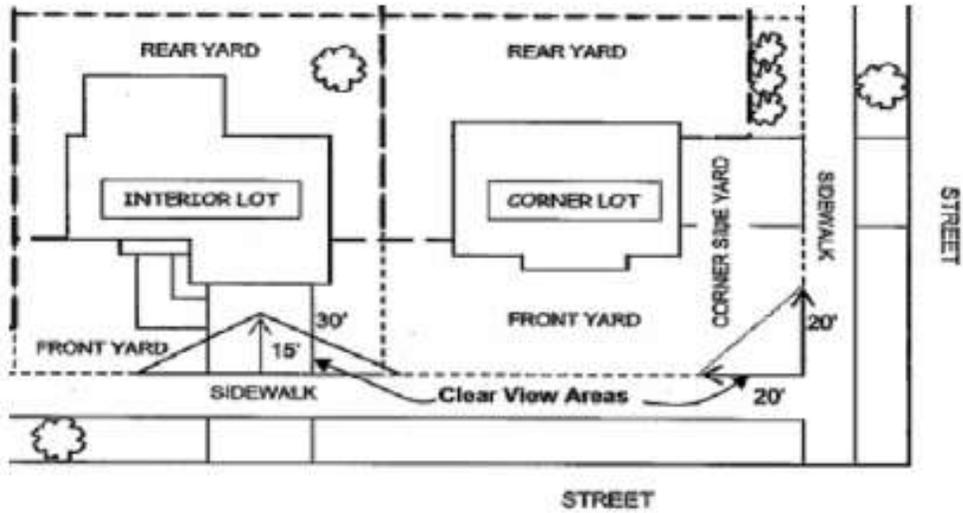


## **11-6-213 General Fence Requirements**

- (1) The intent and purpose of the General Fence Requirements Ordinance is to insure safe sight lines and to minimize the potential negative visual impact or hazards of high or unsightly fences, walls and/or retaining walls.
- (2) Permit Required – Before commencing construction of a fence or wall, plans shall be submitted and approved by the Community Development Department. Construction of fences and retaining walls must meet applicable requirements of Springville Building Code. For construction of all fences over six-feet and retaining walls over four-feet (including the footings) in height, a building permit must also be secured.
- (3) Exceptions – The provisions of this Section may not apply to:
  - (a) Approval of fence heights by the Planning Commission, which are greater than six (6) feet high, in order to provide screening of adjacent uses as a part of site plan review;
  - (b) Temporary construction fences installed to protect the public from injury during construction or to maintain security for development (a permit must be obtained for these and they must be removed at completion of construction.);
  - (c) For agricultural fencing purposes which do not adjoin residential developments or areas;
  - (d) Fences utilized to surround or enclose public utility installations, public schools, or other public buildings; or
  - (e) Fences for uses such as tennis or sports courts which may be a maximum of fifteen feet (15') high if the fence meets all of the required setbacks for an accessory building in the zone in which it is located.
- (4) Materials – All fences and walls shall be designed and constructed consistent with the quality of the dwelling, building or other improvements within the surrounding area and be constructed of substantial materials. It shall be unlawful to erect or maintain any barbed wire, concertina or razor wire, or electric fence along or adjacent to any public street in the City; however, barbed wire may be use in the A-1 zone.
- (5) The clear view requirements shall be met in all zones as illustrated below and specified in Section 11-6-108 of this Title.



(6) Where elevations are different on either side of the fence, wall or hedge the maximum height shall be measured from the higher elevation, provided that higher elevation is level or increases for a distance of at least 50 feet from the fence.

(7) Residential Zones – The following provisions shall govern the height and location of fences, walls, plant growth or other obstruction to view:

(a) Interior Lots – No fence, wall or hedge shall be located within the required setback area as follows:

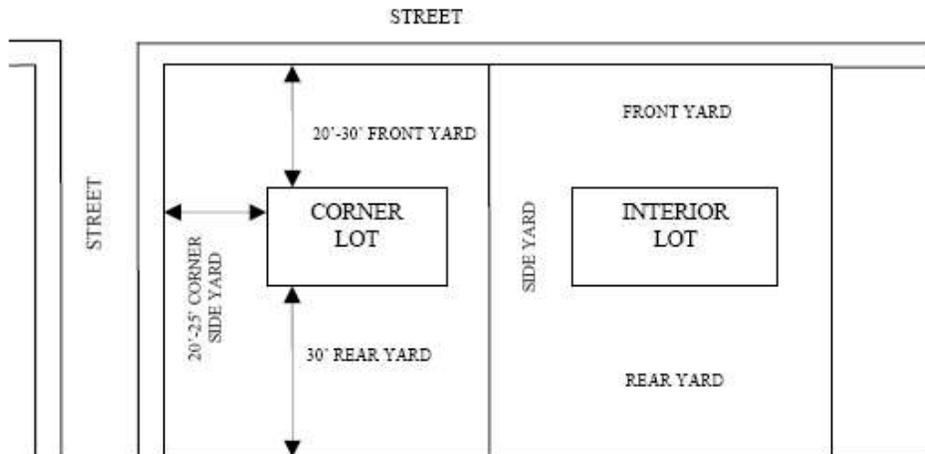
Front Yard – Four feet (4')

Side Yard – Six feet (6')

Rear Yard – Six feet (6')

Clear View/Site Triangle – Four feet (4') and at least 50% see through

i. Exception. Decorative wrought iron fencing that is at least 70% see through may be installed in front yards up to six feet (6') in height.



(b) Corner lots – No fence, wall or hedge shall be located within the required setback area as follows:

Front Yard – Four feet (4')

Corner Side Yard – Four feet (4')

Interior Side Yard – Six feet (6')

Rear Yard – Six feet (6')

Clear View/Site Triangle – Four feet (4') and at least 50% see through

i. Exception. Decorative wrought iron fencing that is at least 70% see through may be installed in corner side yards up to six feet (6') in height.

ii. Where corner lots are adjacent to each other with rear yards abutting, a six-foot (6') solid fence is permitted, set back five feet (5') from the street side yard lot line at a point beginning fifty feet (50') from the intersecting point of the corner property lines.

(c) Where lots have double frontages, that area designated by the Community Development Director as the rear yard may have a solid or view obstructing fence, wall or hedge, not exceeding six feet (6') in height. Such fence, wall or hedge shall be setback at least five feet (5') from the edge of the sidewalk. Where the double-fronted lot is also a corner lot (three frontages) the required clear view across corner property shall be enforced at street intersections at both the front and rear of the lot.

(d) All fencing shall be located at least one foot (1') behind the sidewalk and a minimum of three feet (3') open area clearance is required around any fire hydrant or electrical transformers.

(e) No fence or wall, regardless of materials, nor other obstructions, including shrubbery, nor any combination of materials, shall be erected or maintained that blocks access from a front yard through both sides of a rear yard.

(9) Non-Residential Zones – The following provisions shall govern the height and location of fences, walls, plant growth or other obstructions to view.

(a) Fences, walls and hedges may be constructed or maintained in non-residential zones up to six (6) feet in height. Such fence, wall or hedge shall be located no closer than one (1) foot from the sidewalk.

(b) Fences and walls within any Business, Commercial-Manufacturing zoning classification which abuts residential or institutional uses shall be used in conjunction with landscaping as screening in accordance with the provisions found in Section 11-6-2 of the Springville City Development Code.