

19.73.090 Access, circulation and off-street parking.

A. Design traffic circulation to respect existing topography, achieve acceptable slopes, and adhere to minimum width and turning standards:

- + 1. Safe and adequate access shall be provided in all new development. Access shall be of adequate width to allow for snowplowing and snow storage;
- + 2. Access roads shall avoid steep grades and sharp turning radii that can make access, especially in the winter, difficult;
- + 3. Roads and driveways which run perpendicular to the contours of a site shall be prohibited. (See Figures 22-24;

Figure 22

Driveways to residences shall avoid steep grades and respect the contours of the site.

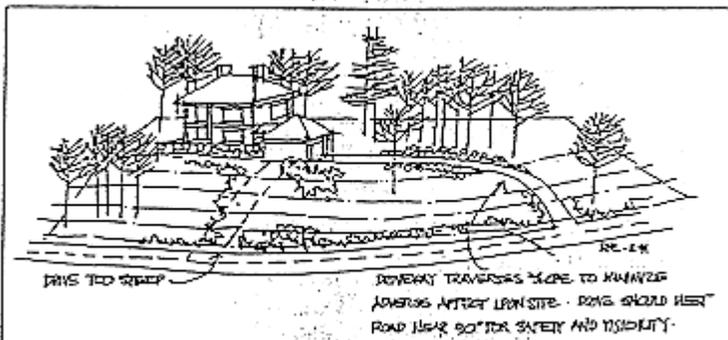


Figure 22: Driveways to residences shall avoid steep grades and respect the contours of the site.



Figure 23: YES: Driveway access and circulation to commercial buildings should respect the site's contours.

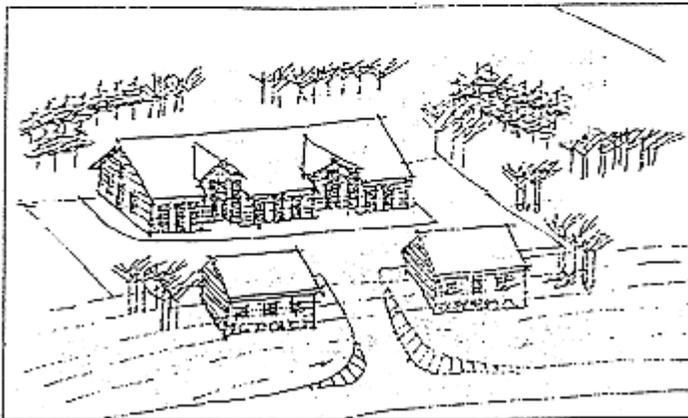


Figure 24: NO: Roads and driveways which run perpendicular to the contours of the site shall be prohibited.

+ 4. To the maximum extent feasible, driveways and covered parking shall be sited on flatter ground and, if necessary, pathways shall be provided to principal buildings. Cars need not have direct access to the front door of a principal building.

B. Provide safe, adequate off-street parking with year-round access (See Figures 25 and 26.):

- + 1. New development shall provide off-street parking as required by this zoning ordinance.
- o 2. Shared driveways and shared parking areas with adjoining owners are strongly encouraged in order to reduce maintenance costs and overall impacts on the environment.
- + 3. Access to off-street parking areas shall be from a private driveway or roadway and not directly from a public street or road. Off-street parking areas shall be large enough such that persons accessing or leaving the site are not required to back out onto a public street unless the development services director or the planning commission determines that the street is not a major thoroughfare and that no safety or traffic flow problems will result.

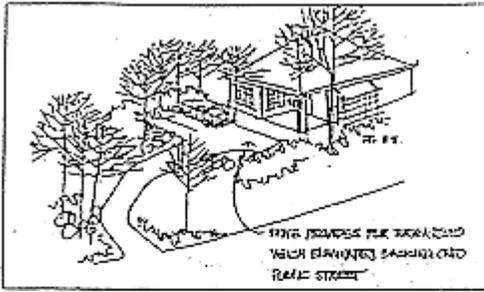


Figure 25: Provide adequate off-street parking with year around access.

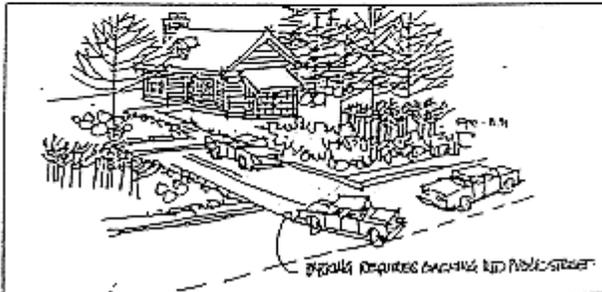


Figure 26: Off-street parking requiring backing onto major roads is discouraged.

+ 4. The location of off-street parking facilities shall comply with this chapter. Such areas shall be properly screened and be located on land proven to be suitable for development.

C. Design new roads and driveways to reduce their visual impact:

+ 1. To the maximum extent feasible, roads and driveways shall be screened using existing land forms and vegetation and any cuts and fills shall be regraded to repeat adjacent land forms. To the maximum extent feasible, long tangents shall be avoided in favor of curvilinear alignments reflecting topography, and curve side roads as soon as possible after intersection with arterial roads or highways.

+ 2. Cuts and fills for new roads and driveways shall be revegetated with native plant materials. (Ord. 1417 § 3 (part), 1998)

19.73.100 Fences.

A. Place fences to respect existing land forms, follow existing contours, and blend into the natural setting of the site (See Figures 27-29.):

+ 1. Fences as part of development on sensitive lands shall be limited to fences necessary to screen service and outdoor areas. (See also Section 19.72.030(C)(7), "Grading Standards--Retaining Walls.")

+ 2. Fencing used to screen patios, other outdoor areas, and service areas that are adjacent to buildings may be opaque. The use of natural or stained wood for such fencing is strongly encouraged. Other appropriate fencing materials include brick, rock, stone and wrought iron.

Figure 27

Opaque fence may be used to screen service areas.

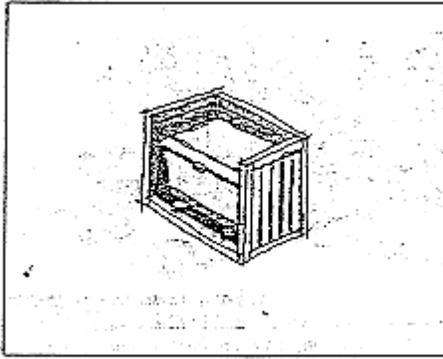


Figure 27: Opaque fence may be used to screen service areas

+ 3. The following fencing materials shall not be allowed:

- a. Solid board;
- b. Concrete or concrete block;
- c. Chain link, except around telecommunications facilities and public utility compounds;
- d. Plywood;
- e. Painted materials; and
- f. Vinyl, except rail fences for containment of horses.

+ 4. Wooden rail fences and low rock walls may be permitted along arterial roads and highways, and to delineate property lines.

+ 5. Fences located along property lines and arterial roads or highways are limited to a maximum of forty-two inches in height.

Figure 28

Walls and fences should respect existing land forms.

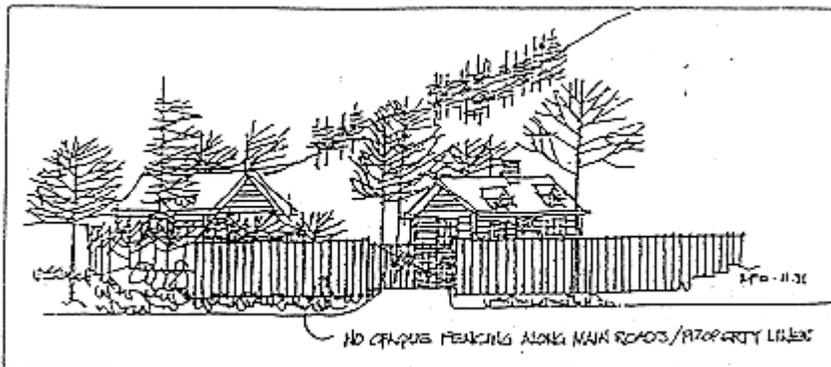


Figure 28: Walls and fences should respect existing land forms.

- 6. Solid barrier fences located along arterial roads or highways, or placed directly on a site's front property line, are out of character with the natural setting, block views, and shall be prohibited.

Figure 29

NO: Solid barrier walls are out of character with the natural canyon setting.

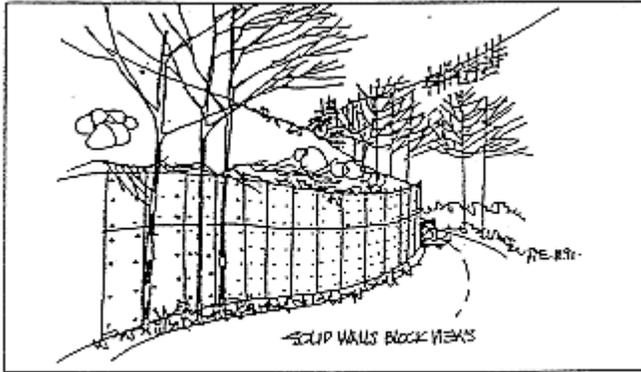


Figure 29: NO: Solid barrier walls are out of character with the natural canyon setting.

+ 7. Walls and fences shall be reviewed on a site-by-site basis (during site plan review if applicable) and shall require a building permit. (Ord. 1417 § 3 (part), 1998)